

**PROCEDURES
AND
OUTLINE SPECIFICATIONS
FOR
BUILDING CONSTRUCTION**



*PO Box 1086
Lincoln, NH 03251*

September 2017

This document may be revised without notice. Refer to www.coolidgefalls.org for the most recent update.

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*Changes made on last revised date are marked in **BOLD***

GENERAL

The Coolidge Homeowners' Association (CHA) Declaration of covenants, reservations, restrictions, and easements has been given the authority to review, approve, or disapprove in advance all new construction, alterations, or occupancy. It is our hope that the following procedures will continue the excellence in design and construction that have become the Coolidge tradition. Specifications are subject to change. Please check with the CHA office for the most recent version, and for pre-approval of planned work.

WORK SITE

The work site should be kept clean at all times. If debris blows into other areas of Coolidge, it is the responsibility of the contractor to collect and dispose of properly.

Deliveries of building materials should be placed in a location which does not impede the normal flow of traffic.

Care should be taken to not harm existing roads during construction. If any damage occurs, the homeowner will be assessed the cost of putting the road back to its original state prior to construction.

DESIGN GUIDELINE DRAWINGS

The owner must incorporate in his or her plans the design guidelines on file with the association, which establish the minimum design criteria for new construction of each model and building type permitted in Coolidge. A set of guide drawings are available at www.coolidgefalls.org, click on Construction process and documents. The section in this document on building repair standards is an update to some of these guide drawings and supersedes them for items such as railings, stairs, walkways, exterior walls, etc.

APPLICATION AND FEES

An *Application to Allow Construction* must be submitted with Preliminary drawings and a \$1,500 deposit for new homes or \$1,000 for existing home additions, for the architectural review. CHA will either issue or deny the

Certificate of Compliance with reasonable cause within 30 days.

A one-time \$500.00 project review fee shall be assessed for all construction projects (not including repairs of existing structures) and paid at the time of commencement of preparation of the lot for construction, and thereafter a monthly construction review fee of \$100.00 shall be assessed and paid during each of the first 12 months of construction, measured from the initial cutting of trees (or issuance of permit for additions) and ending with the issuance of the Certificate of Completion. If, after the first 12 months of construction, the structure is not completed in accordance with the procedures and guidelines then in effect, the monthly construction review fee shall be increased by \$100.00 until the Certificate of Completion is issued.

PRELIMINARY DESIGN APPROVAL

Preliminary drawings for new construction or additions must include; floor plans, elevations, a site plan indicating the building's location with respect to the boundaries of the envelope within which it is to be built, elevations relative to existing grades, driveways, the required 20' x 20' parking pad, at a minimum, entrance walkways or stairways, landscaping, drainage pattern and water bars to insure the diversion of runoff water from the site and road, and additional items as required in the *Outline Specifications* section of this document. The existing road shall be saw-cut to meet the new parking pad. All neighboring lots and units shall be shown on the preliminary drawings and approved prints. All such drawings will be AIA, hard line or drafted drawings. All should be submitted in PDF format and emailed to chaoffice@coolidgefalls.org.

*A Registered Land Surveyor shall prepare the site plan.
A Registered NH Architect (AIA) shall prepare the building plans, elevations, and landscape plans.*

FINAL DESIGN APPROVAL & CERTIFICATE OF COMPLIANCE

Upon approval of the preliminary design, the Registered Land Surveyor and Registered Architect shall prepare complete working drawings and specifications for construction of the building, which shall be submitted to the Board prior to commencement of construction to

ascertain substantial conformance with the approved preliminary design. Following compliance with any reasonable changes or requests for additional detail as the Board may impose, the Owner shall provide the Board one set of the approved plans, each set signed by the applicant, one PDF, and the Board shall issue a Certificate of Compliance, authorizing commencement of construction from the Association's viewpoint. The Owner is responsible for applying for and obtaining such building permits as may be required by the Town of Lincoln, and any other governmental entity having jurisdiction over construction.

Construction must start in the spring and be continuous, failing which the Certificate shall expire. Construction must be completed within one year.

The name and statement of qualifications of the general contractor shall be submitted.

DUPLEX AND TRIPLEX LOT CONSOLIDATION

In cases where an Owner of an undeveloped three-unit site wishes it to be considered as either a two-unit or one-unit site, or an Owner of an undeveloped two-unit site wishes it to be considered as a one-unit site, the Board shall consider and approve requests to merge such multi-unit sites into lesser-unit sites, and assist in bringing about such mergers, under the following procedures and conditions:

- (a) By reason that the Association is the only entity with legal authority to alter lots in Coolidge Falls, the Owner shall convey title of his multi-unit site to the Association;
- (b) The Association shall then file with the Lincoln Planning Board a Notice of Voluntary Merger of Pre-Existing Lots respecting the multi-unit site.
- (c) Following the Lincoln Planning Board's certification of the voluntary merger, the Association shall record the Notice in the Grafton County Registry of Deeds, shall execute and record an amendment to the Coolidge Declaration reducing the number of lots in Coolidge Falls accordingly, and shall re-convey title to the site to the Owner.
- (d) The Owner must agree, and the amendment to the Declaration and deed re-conveying title to the Owner shall provide, that

notwithstanding the voluntary merger, any future house built on the site shall be assessed as a two-unit house if its width exceeds 55 feet, and shall be assessed as a three-unit house if its width exceeds 85 feet.

- (e) The costs, filing and recording fees, real property transfer taxes, and attorney's fees, associated with bringing about such a merger shall be borne by the Owner.

OUTLINE SPECIFICATIONS

Site Work

A Dig Safe report must be submitted along with the architect's site drawings. (1-888-DIG-SAFE www.digsafe.com). The following will be shown on the architect's site drawings.

- (a) Siting location and elevations at grade for new building.
- (b) Protection of the site and roadway surrounding new building and driveway.
- (c) Exterior entry walkway and or stairway arrangement.
- (d) Area of site clearing, excavation for building and driveway.
- (e) Existing and proposed grading for driveway, the building and adjoining land. Driveway slope for uphill units should not exceed a 7% slope. Driveway slope for downhill units should be slightly higher than the road. Driveways need 2.5" of winter bind compacted to 2" for the base coat.
- (f) Method of removal and disposal of access fill from the site.
- (g) Location and grades of stone retaining walls as required by site conditions. No single retaining wall shall be higher than 8 feet 0 inches. *Note: the Town of Lincoln now requires any site retaining wall over 4'- 0" high (measured from the base of the footing to the top of the wall) to be designed and stamped by a professional Engineer or Architect registered in the State of NH.*
- (h) Location of watercourses and method of controlling the water flow
- (i) Location of underground drainage, dry wells and culverts. Culverts must have a minimum of two feet of gravel cover or preferably deeper to protect against frost heaving.
- (j) Locations of underground utilities and buried propane tanks. Water shut off valve shall *not* be located in a paved area.
- (k) Underground oil tanks are not permitted.

- (l) 20' x 20' parking pad.

PROPANE TANKS

Shall be located and buried according to state law and regulations and subject to Coolidge Homeowners' Association review and approval. Tanks should be buried in a location which will not hinder snow removal.

Propane tank supplier shall be subject to approval by the Coolidge Homeowners' Association.

LANDSCAPING

- (a) All new construction shall be landscaped per the requirements of the Landscape Master Plan adopted at the December 8, 2007 annual meeting **and indicated on the site plan.** (*See website construction documents and process.*)
- (b) Homeowner is responsible for restoring the site to its natural state and grade and for plantings according to the Landscape Master plan. This landscaping shall be done in consultation with, and approval of, the CHA staff.
- (d) If the Homeowner desires to add additional landscaping items, retaining walls, etc; landscape plans must be submitted for review and approval. The maintenance, replacement, and liability shall remain the responsibility of the Homeowner and a special assessment will be assessed if any maintenance or reconstruction is required. The Association is responsible for maintenance and replacement of landscaping items after one year.
- (e) Water for gardens need to be provided by the unit owner and be reasonably accessible.

CONCRETE

- (a) Exposed concrete shall be kept to a minimum. On sloped elevations concrete shall be covered with vertical boarding to a maximum 8" from finished grade.
- (b) When practical wooden walkways are preferred over concrete.

WOOD

- (a) Exterior siding shall be 1" x 10" pine, redwood or cedar.
- (b) 1" x 10" horizontal trim as shown on the guide drawings shall be used over and under all windows.

- (c) 1" x 2 ½" trim as shown on the guide drawings shall be used on the sides of all windows.
- (d) Wood trusses and overhangs shall be designed at gable ends as shown of the guide drawings.
- (e) Meters and TV cable boxes shall be concealed behind wood access panels.
- (f) Columns for decks shall be 2'- 6" x 10" and constructed from wood framing covered with 1" x 10" siding.
- (g) Roof soffits and edges shall be as shown on the standard details.
- (h) Chimneys shall be boxed as shown on the standard details with 1" x 10" trim in top.

ROOFS

Note the following specifications are to be used as guidelines and will vary depending on the manufacturer.

A choice of two different roofs:

- (a) Old style. Shall be Meridian Galvalume metal with zinc coating as made by McElroy Metal, Inc. Panel width is 16" with minor ribs 26 gage. Ridge shall be metal cap covered Cor-avent. Color is Charcoal. Note however when it is time to replace rather than repair the old roof, **either** the following new roof spec **or the old roof spec may** be used be used.
- (b) Standing seam. Manufacturer Englert, McElroy or equivalent 24 – 26 gauge, backer rod system with stiffing ribs, 1" to 1½" seam, 16" to 20" panel. (Standing seam). Color is Slate Grey, to be approved by CHA.

Installer: Iron Horse Roofing
PO Box 82
Tunbridge, VT 05077
802-889-320
ironhorseroofing@hughs.net

Mad Cow Roofing Inc
46 Sand Hill Road
Croydon, NH 03773
603-863-5591

Rodd Roofing Company
PO Box69
49 Perkins St.
St. Johnsbury, VT
802-748-4555

800-331-7663
info@roddroofing.com

(c) If modifications are being made to an existing structure, original roof panels can be purchased from:

Wider Valley Nessco-NH-Panels, Inc.
334-5 Rundlett Hill Road
Bedford, NH 03110-5824
800-258-1333 - 603-624-4455

Sample material must be submitted to the CHA office for approval before commencing any work. Also submit a copy of the contractor's liability and worker's compensation policy.

EXTERIOR DOORS

- (a) Front door shall be Royal Contemporary Series insulated steel doors. Flush with full tempered glass door light Model No. B34. Color shall be Evergreen.
- (b) Sliding doors to decks shall be wood clad aluminum as made by Anderson or Marvin. Color shall be Terratone (Dark Brown)

WINDOWS

- (a) Sliding and fixed windows as shown on the guide drawings shall be wood clad aluminum as made by Anderson or Marvin. Color shall be Terratone (Dark Brown). Aluminum screens shall match the windows.
- (b) All windows shall be slides or fixed. Casements can be substituted, but must have the same characteristics (height, width, sash and color) of existing sliders and fixed windows.
- (c) Window trim, horizontal and vertical shall be Evergreen #4.

SHADOW BOXES

The fixture below should be installed inside the shadow boxes. This fixture has been approved by the State of New Hampshire, Electrician Board, and Office of the Fire Marshal. The fixture is from Progress Lighting and can be purchased through Ralph Pill.



PROGRESS LIGHTING
SKU P5612-30

If the homeowner prefers, an alternative to shadow box lighting, the following fixture maybe used. *Only this fixture has been approved and ALL exterior lights must be the same and shown on permit drawings.*



PROGRESS LIGHTING
SKU P5643-20
Finish: Antique Bronze

PAINTING

All exterior surfaces require *one coat of primer, two coats of stain. Before painting, knots should be brushed with Kilz or Bin Primer to prevent bleeding.* Primer, Fresh start, #09400 for pressure treated lumber. #02300 for existing wood.

See painting specifications for all colors and materials available from the office or online.

CONSTRUCTION REVIEW

For new buildings and additions, the Board's representative shall have a pre-construction meeting with the Contractor and the Owners Architect to review and approve the building location. The building shall be staked prior to the meeting.

The Board's representative shall have progress construction meetings after the framing is complete and at the completion of building exterior prior to painting. The representative shall report to the Board that the project is in conformance with the approved working drawings.

The CHA's staff will conduct scheduled periodic reviews for conformance with the design guidelines.

For building repairs, including decks, stairs, and walkways, the unit owner shall schedule a meeting with the Boards representative (CHA staff) to review plans and determine what drawings, if any,

are required. Guidelines contained in this document are to be followed for such repairs and modifications.

Six inspections/reports are required from the Homeowner during the construction phase and must be copied directly to the CHA Office. The homeowner shall instruct their architect or engineer who designed each respective item below to write a statement that it has been build according to the approved plans.

- **Sections of any retaining walls that are to be constructed below ground are built according to the plans and specifications.**
- **Completed retaining walls are build according to the plans and specifications.**
- **Storm water management is built as planned and permitted, both for temporary control during construction as well as permanent control. (prevention of silt in runoff even if no plan is required by Town).**
- **Foundations are build according to the plans and specifications and properly located within the boundary pins.**
- **The grading of the surrounding land is completed according to the approved plans.**
- **The landscaping is constructed and planted according to the plans (or approved modified plans).**

CERTIFICATE OF COMPLETION

Upon substantial completion of the construction, the owner shall notify the Board, which shall promptly cause the work to be inspected for conformance with the approved working drawings. The owner shall provide a RLS as built plan, showing the foundation, house location, and changes on the envelope; and sewer, water, cable, and electric underground utility locations, referenced by dimensions (i.e. from the foundation, and elevations). Following compliance with any reasonable changes the Board may require in order to bring about such conformity, the Board shall issue its occupancy permit.

Significant deviations from the approved plans without prior approval of the Board and failure to correct defects caused by the homeowner on common land will result in the Board's refusal to

issue the occupancy permit. The Board may take any reasonable action to insure Homeowner compliance, including a Special Assessment, and/or denial of access to CHA water and sewer.

The Owner is also responsible for obtaining the occupancy permit required by the Town of Lincoln.

ADDITIONAL INFORMATION

The CHA is pleased to have lot owner's building their new homes. We would like you to keep a few things in mind when designing and constructing your new home:

ROOF LINE: For snow removal purposes, the roof should not slope towards walkways or driveways.

GARAGES/PARKING PADS: The garage should be at a slightly higher grade than the road. This will allow for drainage away from the garage. CHA will need to plow the driveway, and requires a place to push the snow.

COMMON LAND: Once the home is complete, the Association is responsible for maintaining the common land. This land should be returned to its natural state by the builder/homeowner. **However, structures built by the homeowner for their benefit (walls, walkways and storm water mitigation) must be maintained by the homeowner.**

NH CODE: Construction and repairs of structures in New Hampshire are subject to the current edition of New Hampshire building code, RSA ISS-A, and in the event of any conflict between the code and any provision of these standards, that code shall take precedence.

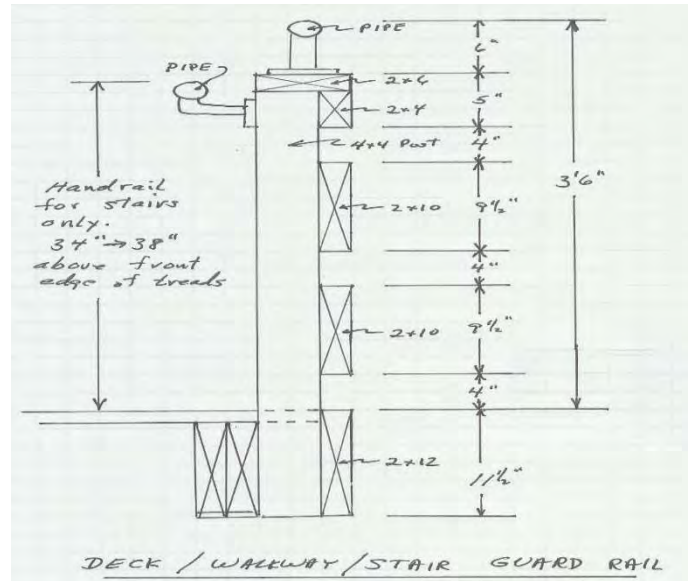
REPAIR CONSTRUCTION STANDARDS

The Association has adopted the following standards for all future rebuilding projects involving deck railings, walkway railings, stairs, garage doors, windows, and stone walls. New building codes in NH have come into law since many of the original buildings were constructed, thus mandating these new standards. Note that in multi-family units, our goal is to eventually have the entire unit comply with these standards as rebuilding of the individual units becomes

necessary. These standards are to be followed by all new construction in the Association. Minor repairs to individual boards on existing railings do not need to follow these standards, but must be followed when the majority of the railings need to be replaced due to their overall condition.

DECK/WALKWAY/STAIR RAILINGS:

Decks and walkways may be enclosed by either solid (white with cordovan cap) walls or with railings. The solid wall method is described in existing building specifications, and exists on many existing homes. The drawing below shows the standard for railings around decks and along level walkways which are greater than 30 inches above the adjacent ground at any point. Per code requirements, the top pipe rail is optional for all buildings except railings on three family units. Note that all footings used must be at least three feet below ground level to avoid frost movement, or where this is not possible, the plan must be reviewed and approved by the Association.



It consists of 4x4 posts anchored to the deck substructure so that the decking material is notched around the posts. See the picture below. The deck substructure is covered by a 2x12 attached to the outside of the 4x4 posts so that the top of the 2x12 is flush with the top of decking material. The 4x4 posts are not to extend below the lower edge of the 2x12. Two 2x10's are attached to the outside of the 4x4 posts so that a four inch gap exists between the top of the decking to the first 2x10, and another 4 inch gap exists between the two 2x10's. A 2x4 is attached above the upper 2x10 to leave another 4 inch gap between boards. The top is covered by a 2x6, bringing the height to that point to 36 inches. A pipe rail (1.5 to 2 inch diameter pipe) attached so that the top of the pipe rail is six inches above the 2x6 provides a total railing height from the deck to top of pipe of 42 inches. All boards of the railing (2x12, 2x10, 2x4, 4x4, 2x6) must be painted cordovan brown, and the pipe rail must be painted **Evergreen (see paint standards for paint specification)**. Composite materials may be substituted for wood provided that the colors and dimensions match. The ends of walkway or stair railings may be terminated at the 4x4 holding the rails or boards extending beyond the posts must have their sharp corners cut off at an angle. Railings may also be terminated with a white solid wall (with cordovan cap) as specified in existing specifications. If any lights are attached to the railings, any wires and boxes should be attached to the back side of posts, be painted, and be hidden as much as possible.



Figure 1 Decking notched around posts flush with lower 2x12

Alternate Rail Design - An alternate rail design was adopted at the December 2016 Annual Meeting, which may be used consistently in new or existing buildings, in lieu of the above 2x10 horizontal wood rails. Top rail remains the same as above, vertical dark brown metal pipe balusters by "Deckorator", spaced 4" apart and attached to a 2x4 (or 2x6 depending on post spacing) bottom rail, 4" above the deck surface. A mockup of this rail is available for viewing at the CHA Office. All wood to be cordovan brown.



Figure 2 Image of alternate deck rail



Figure 3 Image of alternate stair rail

STAIR TREATMENT

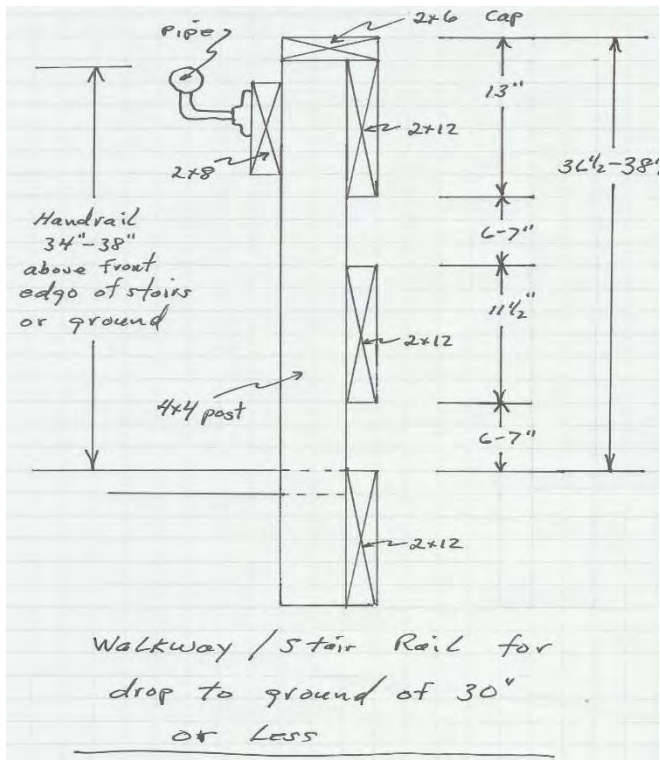
Railings along stairs are to be constructed similar to deck and walkway railings above. The lower 2x12 is not required, leaving the stair step sides exposed to facilitate snow removal. The exposed stair side stringers are to be painted Cordovan. In addition, a handrail along the stairs is required on one side of the inside of the railing. This handrail may be constructed of the same pipe as used on the railing top or other material (maximum diameter must be 1.5" to 2" if round or have a perimeter diameter dimension of 4" to 6.25" if rectangular), attached to the 4x4 posts with brackets so that the top of the handrail is between 34" and 38" above the front edge of the stair treads. When it is not convenient to attach the handrail directly to the 4x4 posts, it is acceptable to attach a 2x4 handrail support board on the inside top of the railing at the same location as the external 2x4. The handrail must be painted Evergreen.

WALKWAY AND STAIR RAILINGS NOT OVER



30 INCHES ABOVE GROUND

The above described railing should be used for walkways and stairs when there is more than a 30 inch drop at any point along the entire length, or for where it is an extension of a deck railing. For standalone railings where the drop is less than 30 inches for the entire length, the following diagram shows a railing that is also acceptable.



This consists of two 2x12's attached to the OUTSIDE of 4x4 posts, with a 2x6 cap placed over the top. A 2x12 is required below the walkway (as described in the standard detail drawing) to cover the sub structure (if there is one). The 2x12 is not required to facilitate snow removal, but the outside stair stringers must be painted Cordovan. A handrail (as described above) at stairs (or wherever desired) should be attached to the 4x4 posts with brackets so that the top of the hand rail pipe is between 34 and 38 inches above the front edge of the stair treads. When it is not convenient to attach the handrail directly to the 4x4 posts, it is acceptable to attach a handrail support board (2x8 up to a 2x12) on the inside of the railing at a location inside the outer 2x12. The ends of the inner and outer board may be covered where appropriate. Composite materials may be substituted for wood provided that the colors are the same. The following picture is a 2x12 and the ends are covered to create a box look shows a handrail constructed from composite materials. Note that in this picture the inside board is a 2x12 and the ends are covered to create a box look.



STAIRS

Stairs can be constructed out of wood coated with Cabot's Timber Oil, or a trex (dark brown is also acceptable) composite material. These stairs must include risers. Natural stone or granite can also be used where appropriate. It is the owners' responsibility to insure that the NH building code requirements are met, considering such variables



as stair rise, treads widths, etc. The following pictures show examples of natural stone and granite. (Note handrails must be provided to meet code).



WINDOWS/SLIDER DOORS

New construction in Coolidge is using Anderson windows and sliding doors in Terratone color. Any window or sliding doors being replaced should use the same product or ones with equivalent color. White sliders, screens and windows are to be avoided.

GARAGE DOORS

The entire garage door and surrounding trim must be painted **Evergreen**, including any weather stripping. This is shown in the picture below.



STONE WALLS

All stone walls, stone edges, or decorative borders must be constructed using natural round stone as shown in the picture below. The intent is to create a rustic appearance. Cut stones, shale, cut granite, fabricated building materials, etc. are not to be used.



APPROVED STANDBY GENERATORS:

The following standby emergency electrical generator specifications are approved by CHA; propane fuel source, pad mounted with an acoustical enclosure and maximum decibel rating of 63 at 21 feet away. The “Generac” *Guardian* series #6051, 10KW generator currently meets these minimum required standards of the Association but other models are acceptable if they exceed the performance criteria of these specifications. Placement of the generator must be approved by the CHA Office and should be located to minimize any view of the unit from both the street and abutting properties.

Alternate Chimney Design

At the December 2017 CHA Annual Meeting, an optional stone exterior chimney design was approved, in lieu of wood siding. Stone shall be a round river rock material with mortar joints as depicted in the following photographs. Note for both new and renovation projects with exterior stone chimney cladding, stamped drawings by a N.H. licensed professional engineer or architect, showing elevations and support details, are required to be submitted to the CHA office for review before construction may proceed.





COOLIDGE HOMEOWNERS' ASSOCIATION

*PO Box 1086
Lincoln, NH 03251*

Maintenance and Construction Equipment Acknowledgement

It is agreed and understood that it is the responsibility of the homeowner and/or general contractor to contact the Association prior to bringing any heavy construction equipment or maintenance equipment, such as "man lifts" onto Association property.

It is also agreed and understood that any damage caused by such equipment, including but not limited to damage to Association roadways, parking areas, grassy Association areas, retaining walls and any other Association property, will be the financial responsibility of the homeowner to make repairs or replacement of such damaged items to original state or condition.

Signed: _____ Date: _____

Homeowner

Signed: _____ Date: _____ Coolidge
Homeowners Association